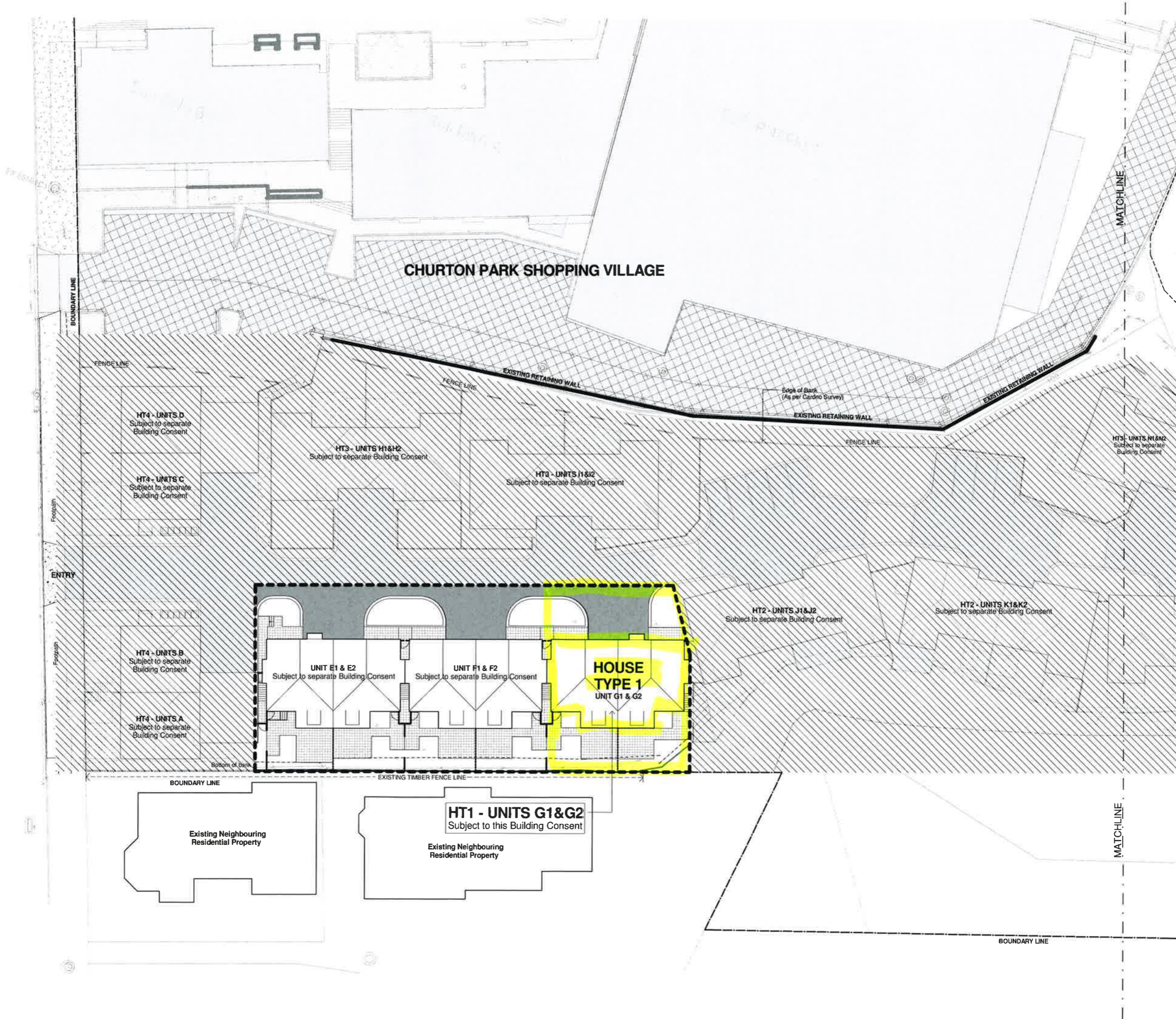
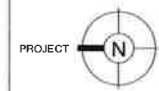


Westchester Drive



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REVISIONS:

REV	DATE	AMENDMENT
R1	21.07.15	BC Issue (HT1)

FOR BUILDING CONSENT

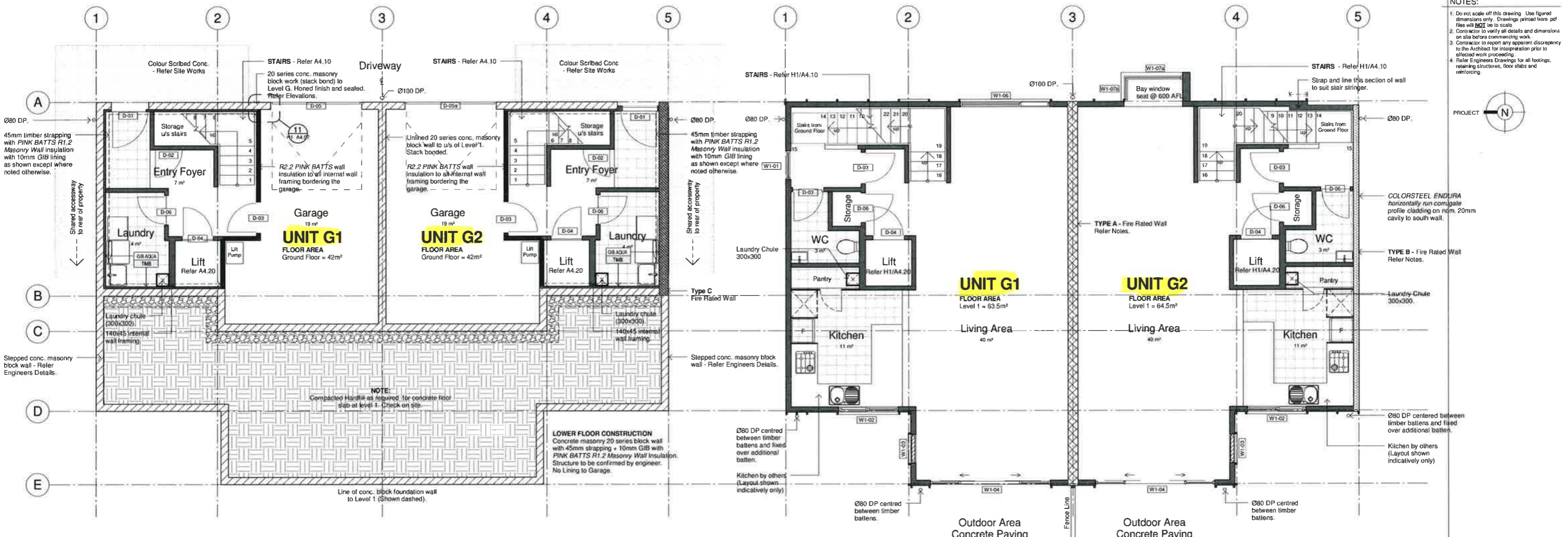


CP Shopping Village -
Medium Density
Residential
Development-Units
G1&G2
31 Westchester Drive, Churton
Park, Wellington
for Russell Properties Limited
**New Site Plan (HT1) -
Sheet 1 of 2**

Scale: 1:200	Job No: 1204
Drawing No: G A1.02.12	Revision No: R1

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HW362 21/07/2015 9:21:28 AM



01 HT1 - Level G Floor Plan (UNITS G1-G2)
H1 A2.00 1:50

02 HT1 - Level 1 Floor Plan (UNITS G1-G2)
H1 A2.00 1:50

VENTILATION / GLAZING

As per G4/AS1 & G7/AS1

Room	Area	Ventilation (Min. ± 5%)	Natural Light (Min. ± 10%)
Living Room/ Kitchen (G1)	51m²	11.6%	23%
Living Room/ Kitchen (G2)	51m²	9.7%	24%
Bedroom 1	11m²	6.8%	13.6%
Bedroom 2	14m²	5.4%	10.7%
Bedroom 3 (G1)	10m²	9.8%	19.7%
Bedroom 3 (G2)	11m²	10.7%	37%

GLAZING RATIO CALCULATIONS

Climate Zone 2
UNIT G1/G2

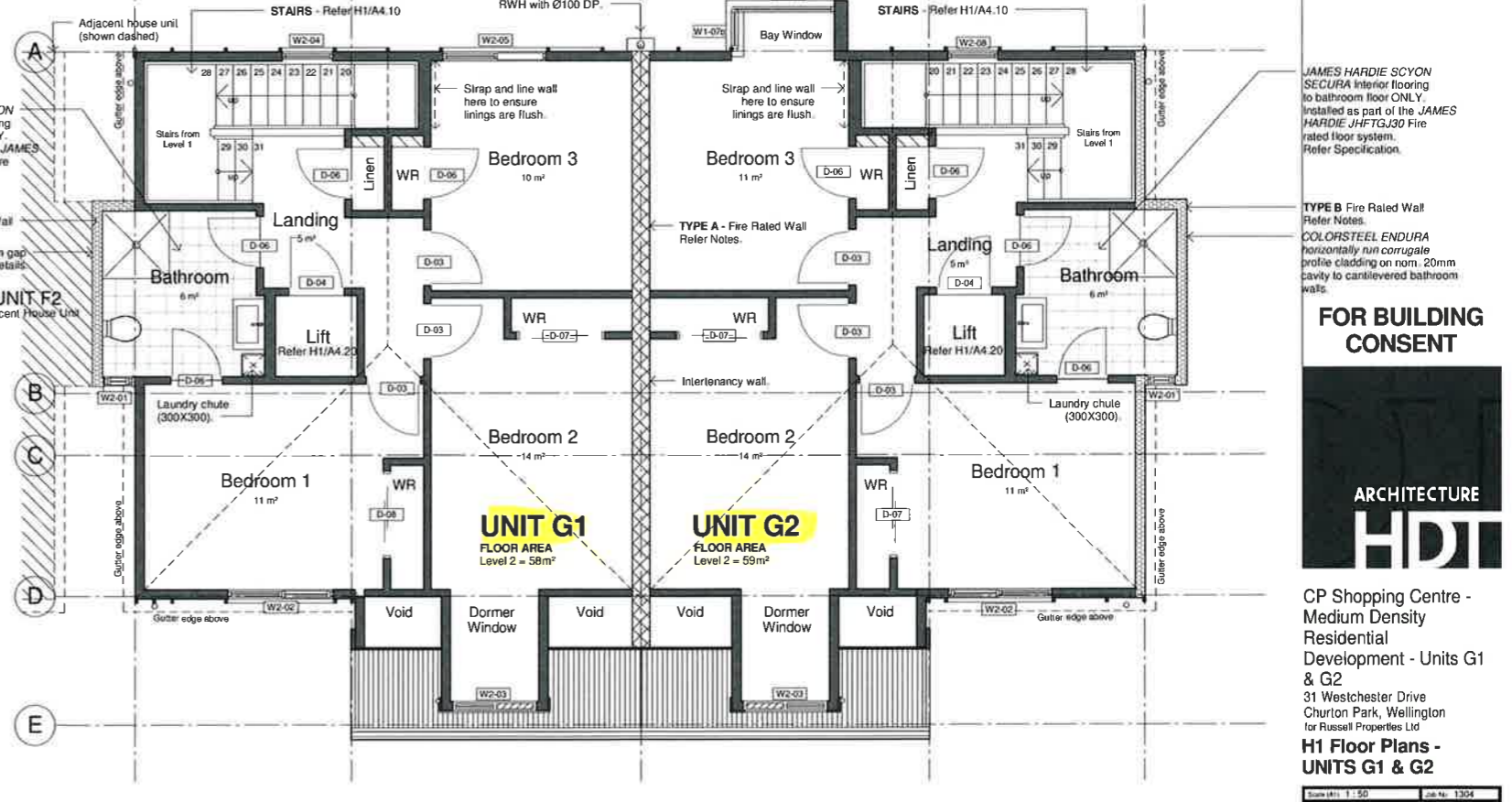
Elevation	Wall Area	Glazing Area	Ratio
North	67.5m²	4.4m²	6.5%
East	126m²	15.3m²	12.0%
South	68.5m²	1m²	1.4%
West	80m²	22.2m²	27.6%
TOTAL	342m²	42.9m²	12.5%

HOUSE TYPE 1: NOTES

Finishes
WALL LINING
General: 10mm GIB STANDARD wall lining unless otherwise noted in Bracing Plan and/or part of a fire rated wall system. Refer Wall Legend.
Bathrooms: 10mm GIB AQUALINE
Laundry: 10mm GIB AQUALINE to immediate area.
Please refer to GIB FIRE RATED WALL SYSTEMS Technical Manual Oct 2012, when the originally specified wall lining needs to be substituted to ensure the fire rating is maintained.
CEILING LINING
1.13mm GIB fixed directly to u/s of floor joists @ 600 ctrs (Level G & Level 1)
2.10mm GIB fixed to 70x40 timber battens (aid flat) @ 450 ctrs.
FLOOR FINISHES
TILES
Type and layout to be confirmed by client. Refer Specification.
Insulation
Wall Insulation: R2.2 PINK BATT'S Wall Insulation.
Ceiling Insulation: R3.2 PINK BATT'S Ceiling Insulation.
Levels
Refer Site Plan for R.L levels for each unit.

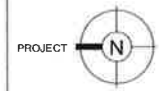
Wall Legend
TYPE A - INTERTENANCY WALL
GIB GBT/LIA 300 SYSTEM
Fire Rated Wall FRR (90/90/90 2 way double wall - 2 no. 90x45 timber frame wall with 25mm air gap b/w frames, 2 no. 13mm GIB NOISELINE each side with R1.6 (75mm) PINK BATT'S. Wall to be constructed in accordance with GIB NOISE CONTROL SYSTEMS MARCH 2006 Technical Literature
TYPE B - EXTERNAL FIRE RATED WALL #1
JAMES HARDIE JHFTG30
Two Way Fire Rated Wall FRR 30/30/30. Selected Profile metal cladding on nom. 20mm cavity on 6mm FIB Board on 90x45 timber framing. Insulate wall with R2.2 PINK BATT'S wall insulation and line inside face with 10mm GIB FYRELINE. Wall to be constructed in accordance with JAMES HARDIE FIRE AND ACOUSTIC DESIGN MANUAL Feb 2013 NZ
TYPE C - EXTERNAL FIRE RATED WALL #2
20 Series conc. masonry block wall (Stack bonded) with 13mm GIB STANDARD on 45mm H1.2 timber strapping on DPC. Insulate with R1.2 PINK BATT'S Masonry Wall insulation.
NOTE:
Where bathrooms/ laundries/ kitchens and any other areas that may be subject to intermittent water splash, the specified wall linings (as above) may be substituted with GIB AQUALINE in strict accordance with GIB FIRE RATED SYSTEMS Technical Manual OCT 2012 'Acceptable Alternate GIB Plasterboards' Table on page 3.

Floor Area
Ground Floor
- Per Individual Unit = 42m²
- Total Area (Per House Type E, F & G) = 84m²
Level 1
- Per Individual Unit (Units E1 & G2) = 64.5m²
- Per Individual Unit (Units E2 & G1) = 63.5m²
- Per Individual Unit (Units F1 & F2) = 63.5m²
- Total Area (Per House Type E & G) = 128m²
- Total Area (Per House Type F) = 127m²
Level 2
- Per Individual Unit (Units E1 & G2) = 59m²
- Per Individual Unit (Units E2 & G1) = 58m²
- Per Individual Unit (Units F1 & F2) = 58m²
- Total Area (Per House Type E & G) = 117m²
- Total Area (Per House Type F) = 116m²
Total Area
- Per Individual Unit (Units E1 & G2) = 165.5m²
- Per Individual Unit (Units E2 & G1) = 163.5m²
- Per Individual Unit (Units F1 & F2) = 163.5m²
- Total Area (Per House Type E & G) = 329m²
- Total Area (Per House Type F) = 327m²
NOTES:
- Area calculated to outside face of wall framing.
- Roof voids - stairway omitted from calculations on top floor.
- The term 'Per Individual Unit' relates to a single unit within a house type e.g E1



03 HT1 - Level 2 Floor Plan (UNITS G1-G2)
H1 A2.00 1:50

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REVISIONS:

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R1	21.07.15	BC Issue

JAMES HARDIE SCYON SECURA interior flooring to bathroom floor ONLY. Installed as part of the JAMES HARDIE JHFTG30 Fire rated floor system. Refer Specification.

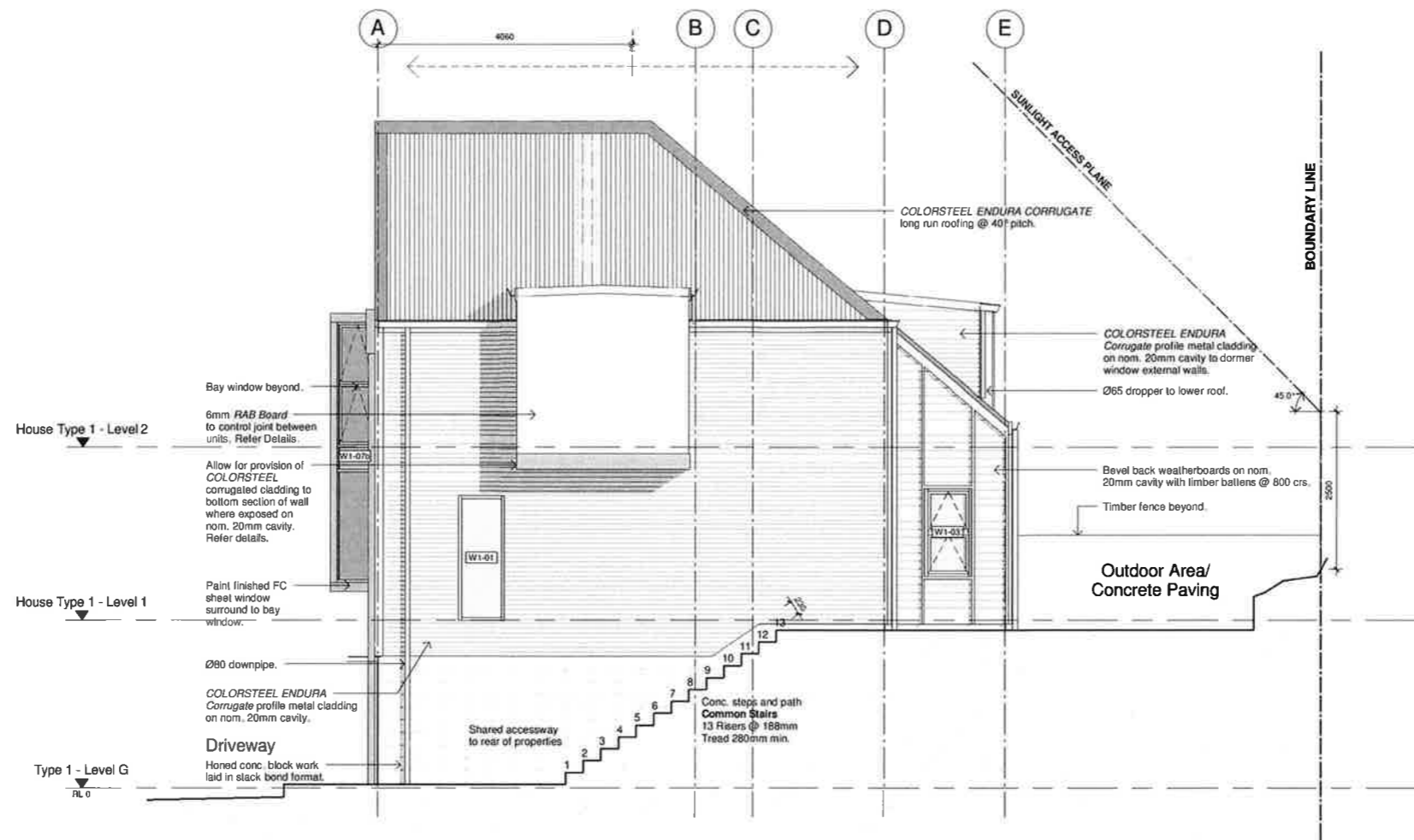
TYPE B Fire Rated Wall Refer Notes.
COLORSTEEL ENDURA horizontally run corrugate profile cladding on nom. 20mm cavity to cantilevered bathroom walls.

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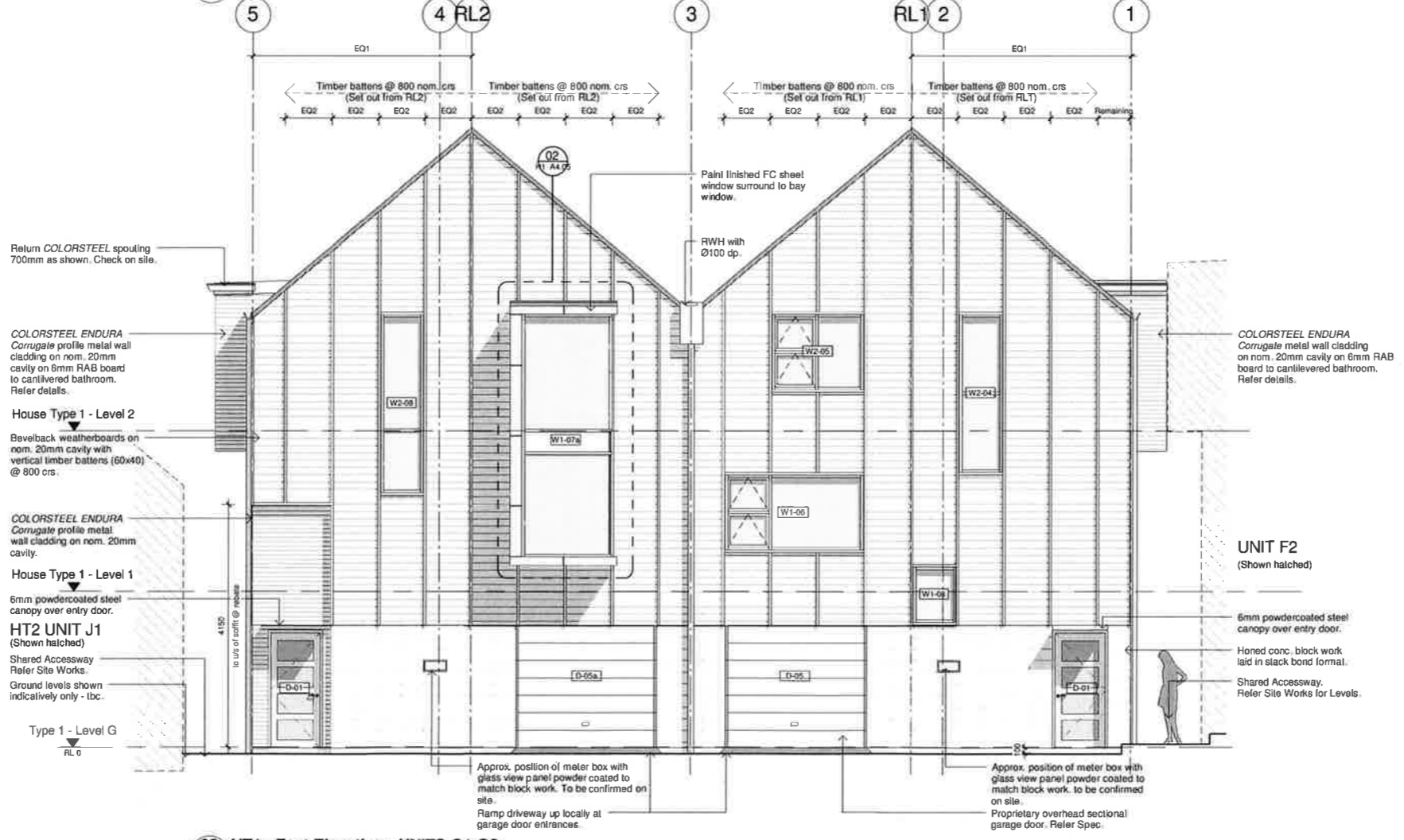


CP Shopping Centre - Medium Density Residential Development - Units G1 & G2
31 Westchester Drive Churton Park, Wellington for Russell Properties Ltd
H1 Floor Plans - UNITS G1 & G2

Scale: H1: 1:50	Job No: 1304
Drawn By: H1 A1.02	Rev: 01
H1 A1.02	R1



01 HT1 - North Elevation - UNITS G1-G2



02 HT1 - East Elevation - UNITS G1-G2

12/11/2014
100% Review Set

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REVISIONS:

NO.	DATE	BY	REASON
R1	TBC		Review Set

FOR BUILDING CONSENT

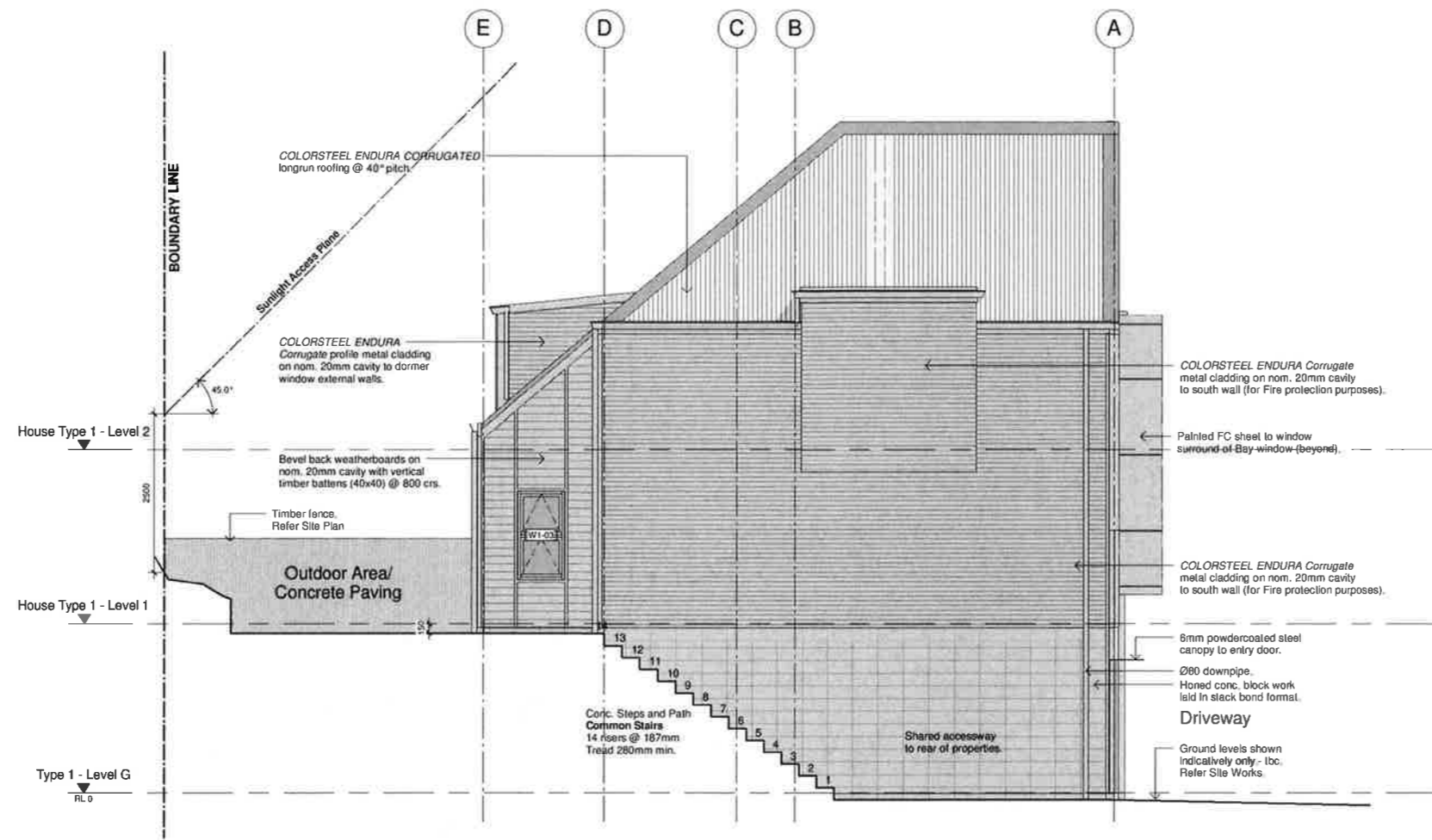


CP Shopping Centre - Medium Density Residential Development

31 Waslchester Drive
Churton Park, Wellington
for Russell Properties Ltd

H1 Elevations - UNITS G1 & G2

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01 HT1 - South Elevation - UNITS G1-G2
1:50



02 HT1 - West Elevation - UNITS G1-G2
1:50

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REVISIONS:

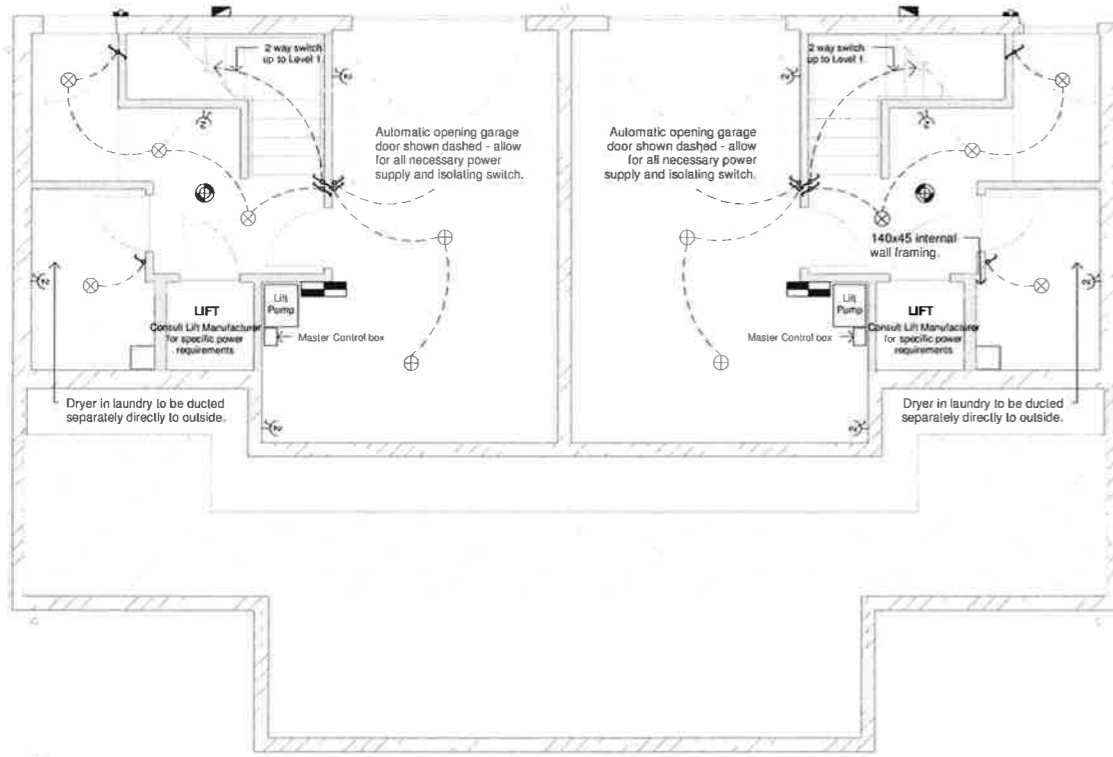
REV	DATE	AMENDMENT
R1	21.07.15	BC Issue

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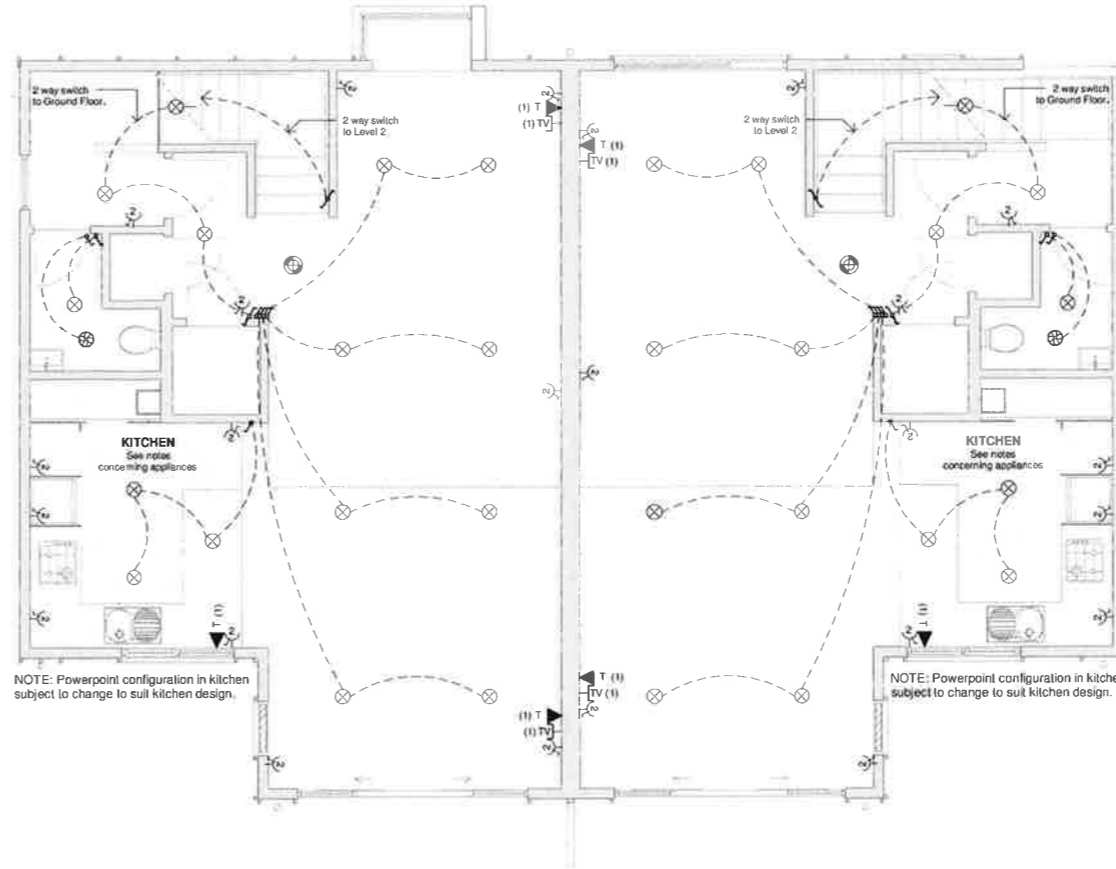


CP Shopping Centre -
Medium Density
Residential
Development - Units G1
& G2
31 Westchester Drive
Churton Park, Wellington
for Russell Properties Ltd
**H1 Elevations - UNITS
G1 & G2**

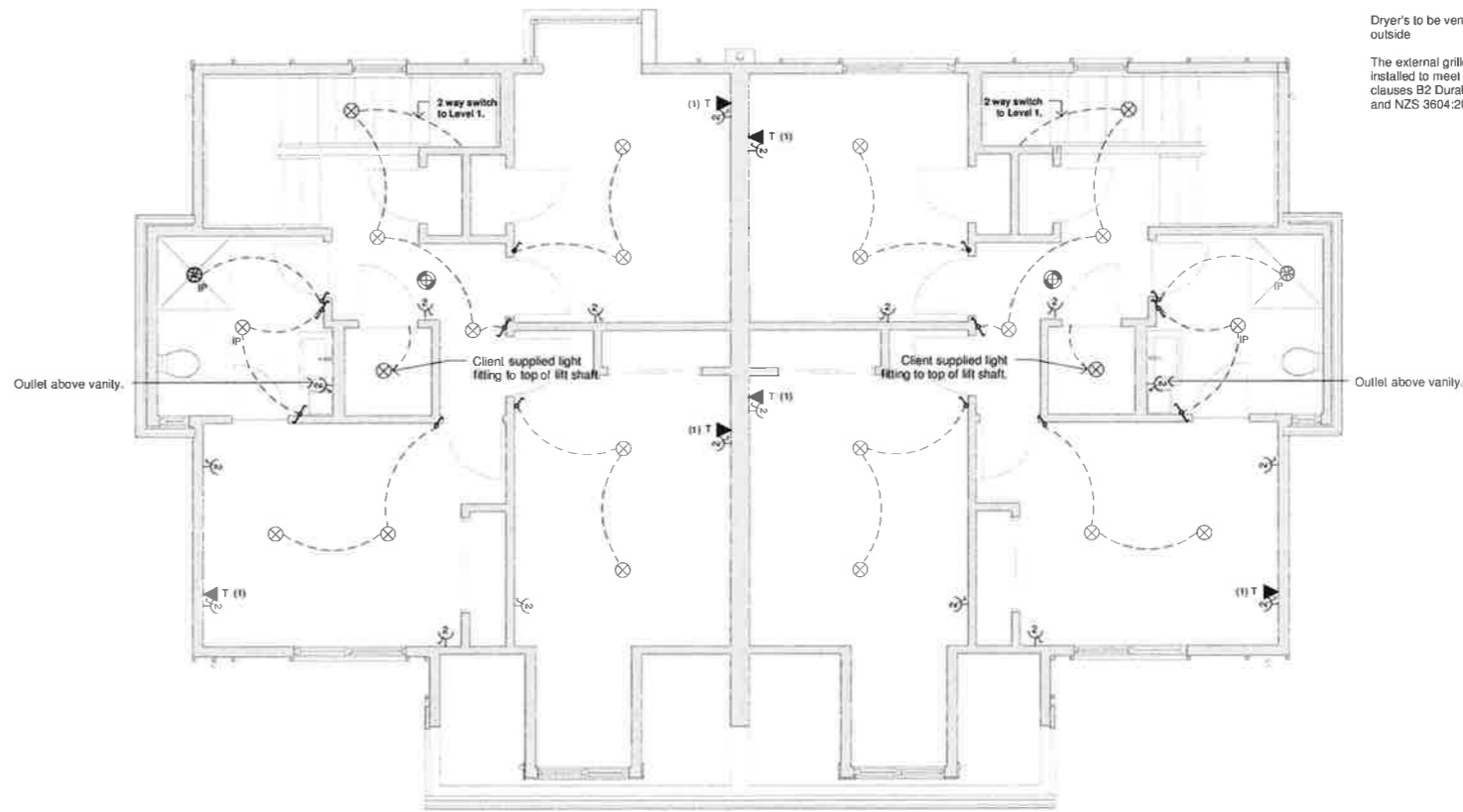
Scale: 1:50	Job No: 1304
Drawing No: H1 A2.05	Revision No: R1



01 HT1 - Level G - Lighting & Electrical
H1 A2.00 1:50



02 HT1 - Level 1 - Lighting & Electrical
H1 A2.00 1:50



03 HT1 - Level 2 - Lighting & Electrical
H1 A2.00 1:50

Electrical Legend

- ☐ Meter Board
- ☐ Switch board
- ☐ Double Outlet
- (1) T Telephone Outlet (Number)
- (1) TV TV Aerial Socket
- ☐ Door Bell Sounder
- ☐ Door Bell Ringer
- ☐ Heated Towel Rail
- ☐ Ceiling mounted extract fan (IP rated)
- ☐ Ceiling mounted extract fan
- ☐ Smoke detector

Lighting Legend

- ⊗ Recessed Downlight
- ⊗ IP Recessed Downlight (IP rated)
- ⊕ Batten Holder light
- ↗ Two way switch
- ↘ One way switch

Notes

- Refer to written specification for details of all light fittings and appliances requiring electrical connection.

- Allow for all necessary connections and isolation switches to hob oven, waste disposal unit, extract unit, dishwasher etc.

- Refer *GIB Noise Control Systems March 2006* and *GIB Fire Rated Systems Oct 2012* when installing power outlets, tv aerial sockets etc into the intertenancy wall.

Smoke detectors

Hardwired smoke detectors to be installed in accordance with C/AS1 & F7/AS1.

Ventilation

The mechanical ventilation for the bathrooms shall provide a minimum air change of 25 litres per second and should be wired to switch incorporating a run-on system for a min. of 5 minutes after the switch is turned off.

Dryer's to be vented separately directly to the outside

The external grille outlets and flashing shall be installed to meet the requirements of the NZBC clauses B2 Durability and E2 External Moisture and NZS 3604:2011.

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R1	21.07.15	BC Issue

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CP Shopping Centre -
Medium Density
Residential
Development - Units G1
& G2
31 Westchester Drive
Churton Park, Wellington
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**H1 Electrical Services
UNITS E, F & G**

Scale: 1:1 - 50	Job No: 1304
Drawing No: H1 A6.00	Revised No: R1

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