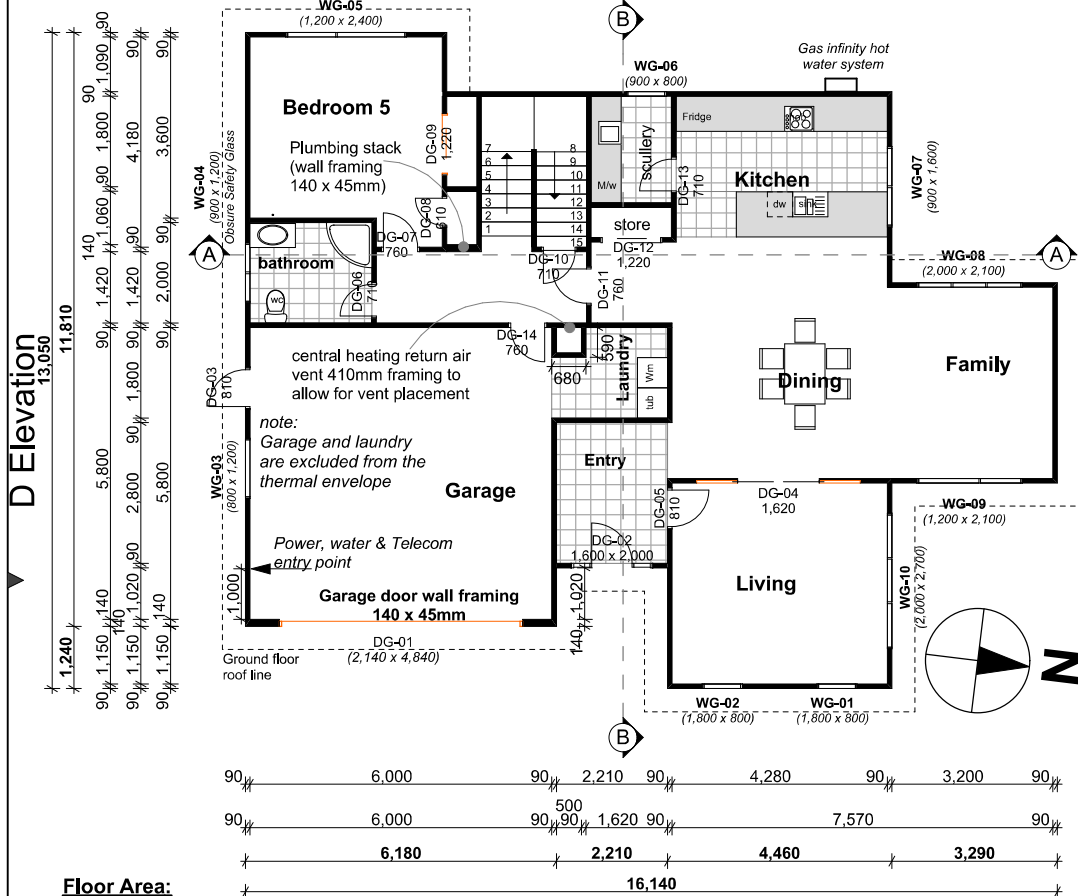


HIANDDRI packers
under wall framing -
Lintels and framing to
allow for 12mm packer

C Elevation



A Elevation

Building Information:

Wall Cladding:

200x25 Bevelback weatherboards
(H3.1, Pre-Primed) on cavity batten
(20mm min.) on building wrap on 7mm Eco-ply.

Building Wrap: Tekton Building wrap

Rigid air barrier: 7mm DD Eco-Ply, H3.1

Exterior weatherboard corners:
Timber boxed corners

Roof Cladding:

Colorsteel Corrugate roofing

Roof Pitch: As per roofing plan

Spouting: Colorsteel continuous spouting system

Downpipe size: 80mm dia.

Fascia:

200x25mm, H3.1, pre-primed FJ timber

Slab/Foundation:

Expol Tuff Pod - as per Engineered specifications

First floor flooring:

Wet areas 19mm thick Ecoply Longspan (H3.2),
Other areas 20mm thick UT Strand Floor.

Exterior joinery: Aluminium windows and doors -
powder coated, double glazed windows.
Obscure glass to ensuite and bathrooms

Insulation:

Ceiling: R3.2 Batts, Wall: R2.2 Batts,
Wall insulation to exterior walls and interior garage
walls.

Wall framing:

All framing timber SG8, kiln dried, H1.2 treated
-Garage door wall framing 140 x 45mm
-Other wall framing 90 x 45mm

Studs: Interior walls @ 600mm crs.

Exterior walls @ 400mm crs.

Ceiling lining:

10mm Gib Plasterboard fixed on
70 x 40mm timber batten, laid flat, (untreated, kiln
dried) @ 450 crs. max.

Wall lining:

10mm Standard Gib Plasterboard lining unless otherwise stated in
Bracing Plan. Gib Aqualine in bathrooms and laundry.

Proposed Property:

Lot 176 Atherton Terrace
Churton Park
Wellington, 6037

**Kitchen and stairs - to be
measured on site by joiner
prior to production.**

SMOKE DETECTORS:

Smoke alarms to be installed within 3m
from all bedroom doors and must be
audible within the rooms with the doors
shut.

Smoke alarms must have both a hush
facility to silence the alarm with min. of
60 seconds and a test facility. Smoke
alarms may be battery powered.

**F2/AS1 requires that, where
glazing may be subject to
human impact, it must comply
with NZS4223.3:2016**

See notes C01 Window Schedule
and C02 Door schedule

**F2/AS1 requires that, where
glazing may be subject to
human impact, it must comply
with NZS4223.3:2016**

Bathrooms/ensuite:

Grade A Safety Glazing will be
installed to the proposed
bathroom WG-04, W1-03, W1-05,
W1-06

Ventilation:

The mechanical ventilation for
the bathrooms shall provide a
minimum air change of 25 litres
per second and should be wired to
a switch.

The external grille outlets and
flashing shall be installed to
meet the requirements of the
NZBC clauses B2 Durability and
E2 External Moisture and NZS
3604:2011

**RUSSELL
PROPERTIES**

Drawn by:
VAR Design,
Vicky Russell
LBP No.: BP115030
Design Class: D1

Wind zone: Extra High
Earthquake zone: 3
Ground: D&E

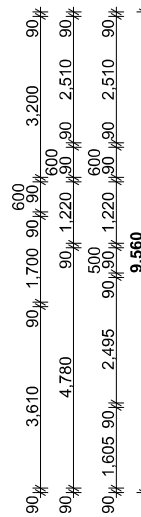
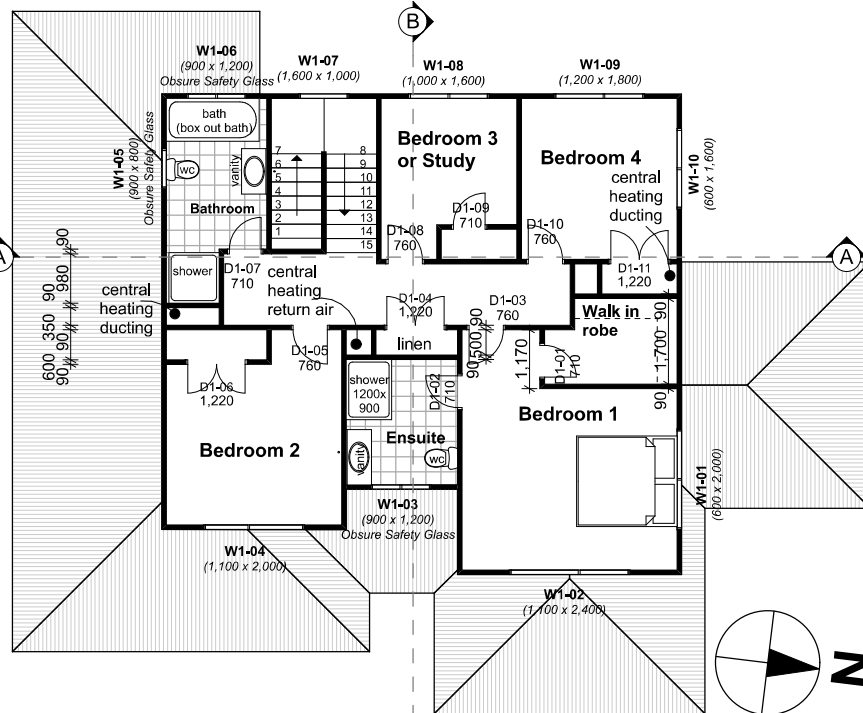
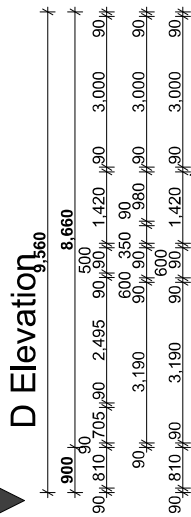
Plan number: 478
Amendments:

Drawing title: Date: 3/06/2020

Ground Floor Plan

Drawing Number: L 02 Scale: 1:100

C Elevation



B Elevation

▲ A Elevation

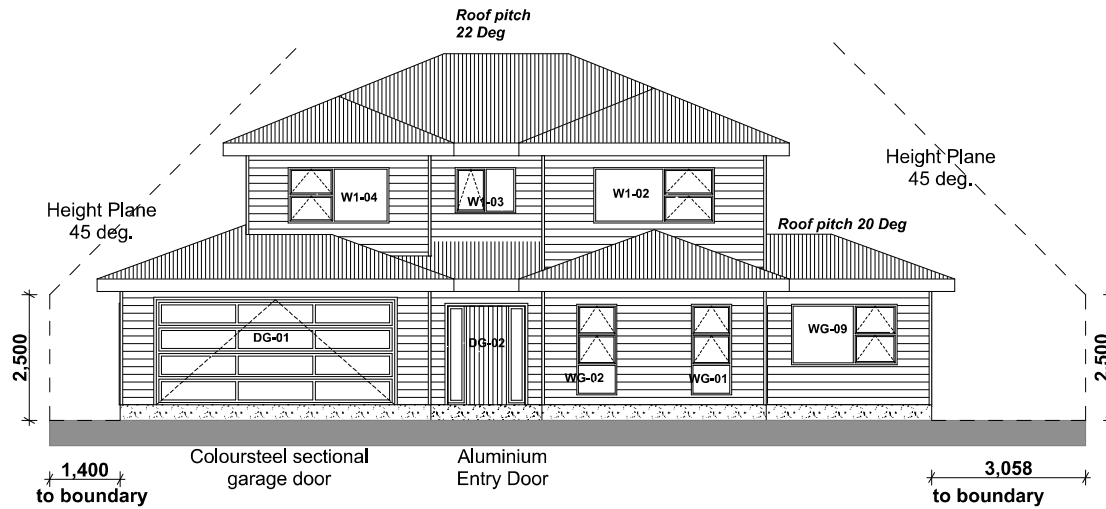
**RUSSELL
PROPERTIES LTD**

Wind zone: Extra High
Earthquake zone: 3
Ground: D&E

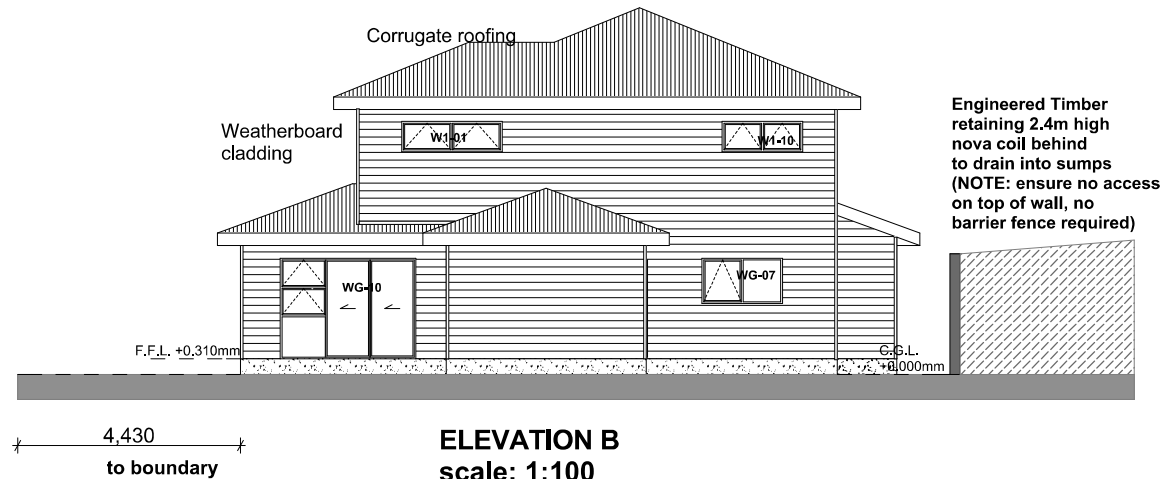
First Floor Plan

<u>Drawing Number:</u>	L 03	<u>Scale:</u>	1:100
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Proposed Property:
Lot 176 Atherton Terrace
Churton Park
Wellington, 6037



ELEVATION A
scale: 1:100



ELEVATION B
scale: 1:100

RUSSELL
PROPERTIES

Drawn by:
 VAR Design,
 Vicky Russell
 LBP No.: BP115030
 Design Class: D1

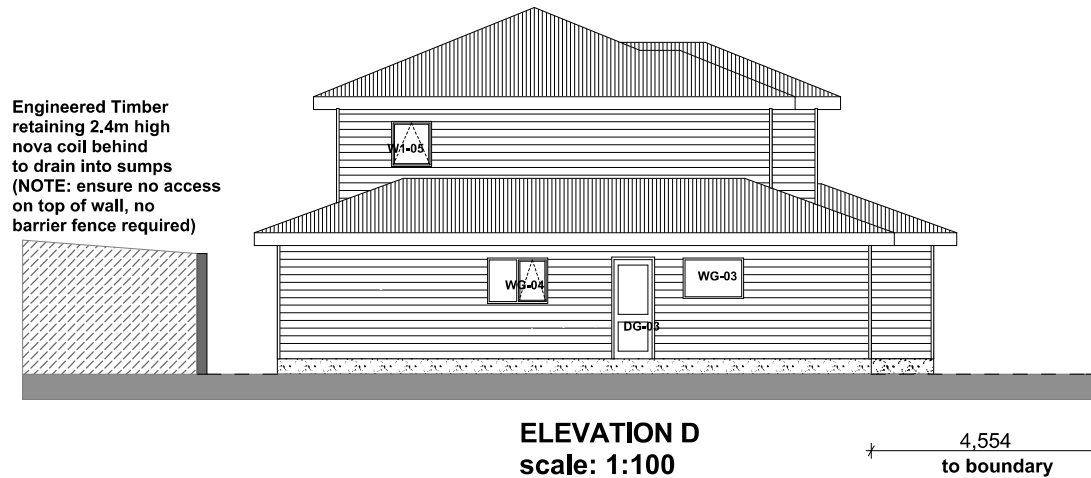
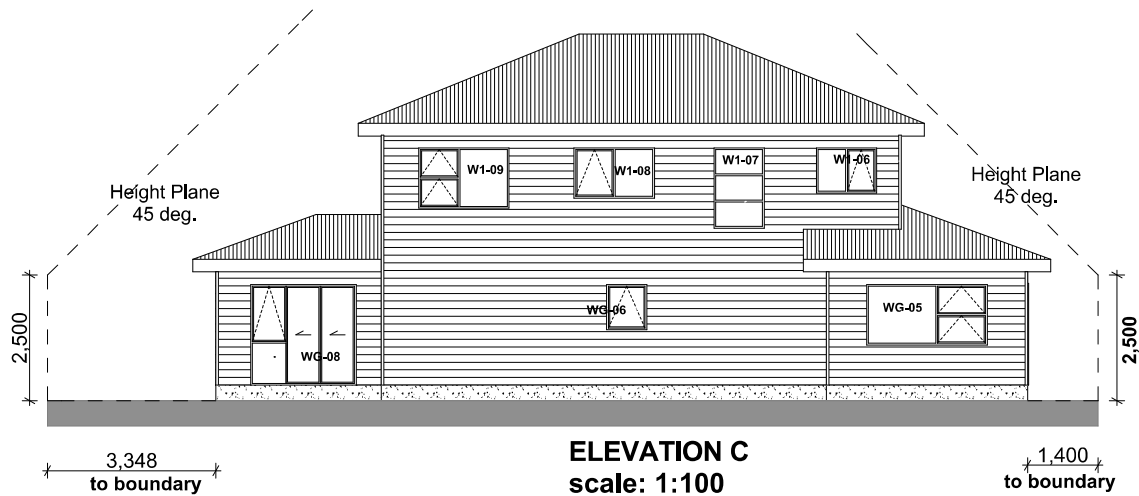
Wind zone: Extra High
 Earthquake zone: 3
 Ground: D&E

Plan number: 478
 Amendments:

Drawing title: Elevations A & B
 Date: 3/06/2020

Drawing Number: L 05
 Scale: 1:100

Proposed Property:
Lot 176 Atherton Terrace
Churton Park
Wellington, 6037



RUSSELL
PROPERTIES

Drawn by:
VAR Design,
Vicky Russell
LBP No.: BP115030
Design Class: D1

Wind zone: Extra High
Earthquake zone: 3
Ground: D&E

Plan number: 478
Amendments:

Drawing title: **Elevations C & D** **Date:** 3/06/2020

Drawing Number: **L 06** **Scale:** 1:100

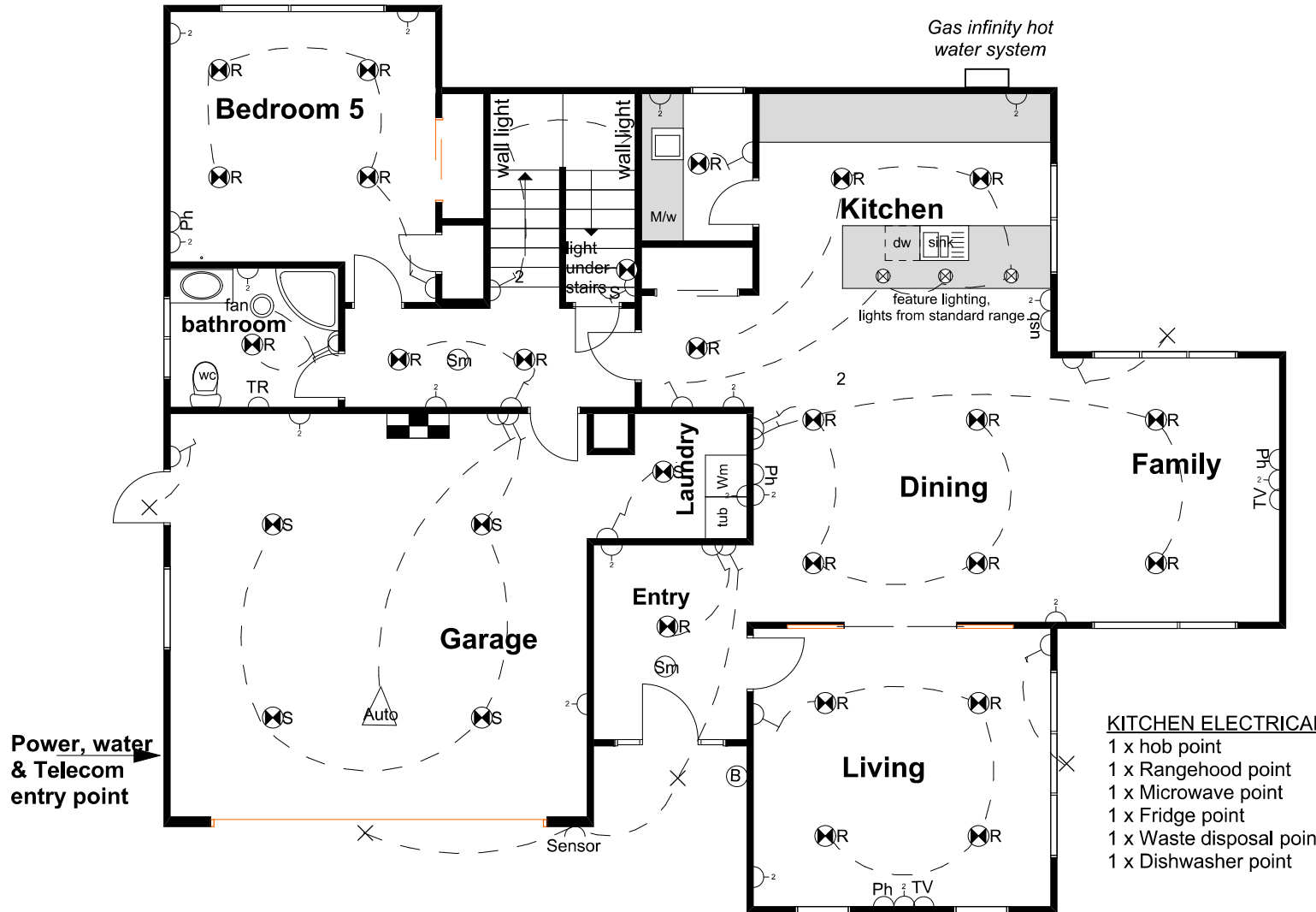
Note: Recessed lights are compliant with NZBC CAS1 section 7.4.1 as specified in AS/NZS 60598.2.2

Proposed Property:
Lot 176 Atherton Terrace
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Wellington, 6037

Ventilation:

The mechanical ventilation for the bathrooms shall provide a minimum air change of 25 litres per second and should be wired to a switch incorporating a run-on system for a minimum of 5 minutes after the switch is turned off. Any dryer in the laundry shall be ducted separately directly to the outside.

The external grill outlets shall be flashed to prevent ingress of water.



ELECTRICAL LEGEND

- ⊗ Recessed LED Downlight
- × Exterior LED Light
- ⌋ One way switch
- ⌋² Two way switch
- ⌋ double power point
- Ph Phone point
- usb USB point
- TV TV point
- ⊗_{fan} Extractor Fan
- TR Towel Rail
- Auto Auto garage door opener
- Ⓟ Door Bell
- Ⓢ Smoke Detector
- Switch Board
- Sensor Sensor Light

KITCHEN ELECTRICAL

- 1 x hob point
- 1 x Rangehood point
- 1 x Microwave point
- 1 x Fridge point
- 1 x Waste disposal point
- 1 x Dishwasher point

Electrical Plan - Ground Floor

RUSSELL
PROPERTIES

Drawn by:
 VAR Design,
 Vicky Russell
 LBP No.: BP115030
 Design Class: D1

Wind zone: Extra High
 Earthquake zone: 3
 Ground: D&E

Plan number: 478
 Amendments:

Drawing title: Date: 3/06/2020

Electrical Plan - ground floor

Drawing Number: L 11

Scale: Not to scale

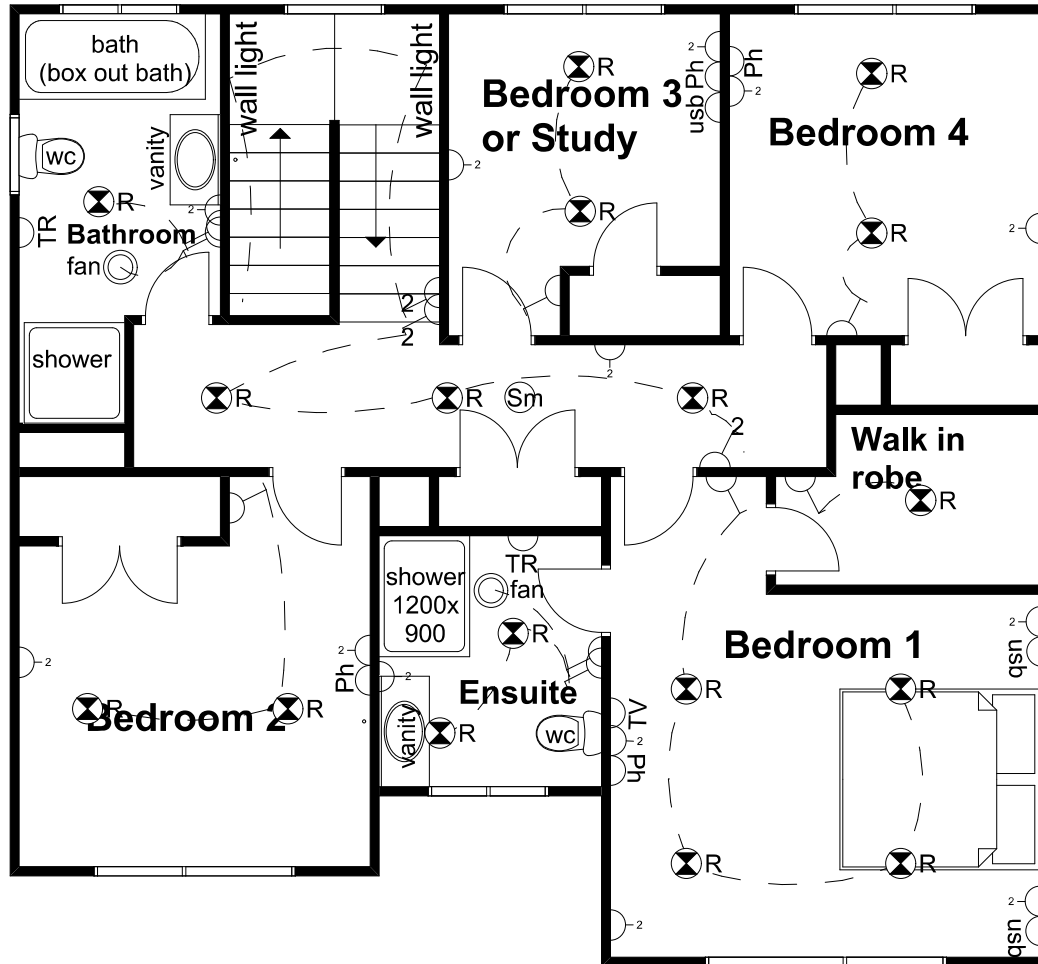
Note: Recessed lights are compliant with NZBC CAS1 section 7.4.1 as specified in AS/NZS 60598.2.2

Proposed Property:
Lot 176 Atherton Terrace
Churton Park
Wellington, 6037

Ventilation:

The mechanical ventilation for the bathrooms shall provide a minimum air change of 25 litres per second and should be wired to a switch.

The external grill outlets shall be flashed to prevent ingress of water.



ELECTRICAL LEGEND

- Recessed LED Downlight
- Exterior LED Light
- One way switch
- Two way switch
- double power point
- Phone point
- USB point
- TV point
- Extractor Fan
- Towel Rail
- Auto garage door opener
- Door Bell
- Smoke Detector
- Switch Board
- Sensor Light

Electrical Plan - First Floor

Plan number: 478
Amendments:

Drawing title: **Electrical Plan - First floor** **Date:** 3/06/2020

Drawing Number: L 12 **Scale:** 1:50