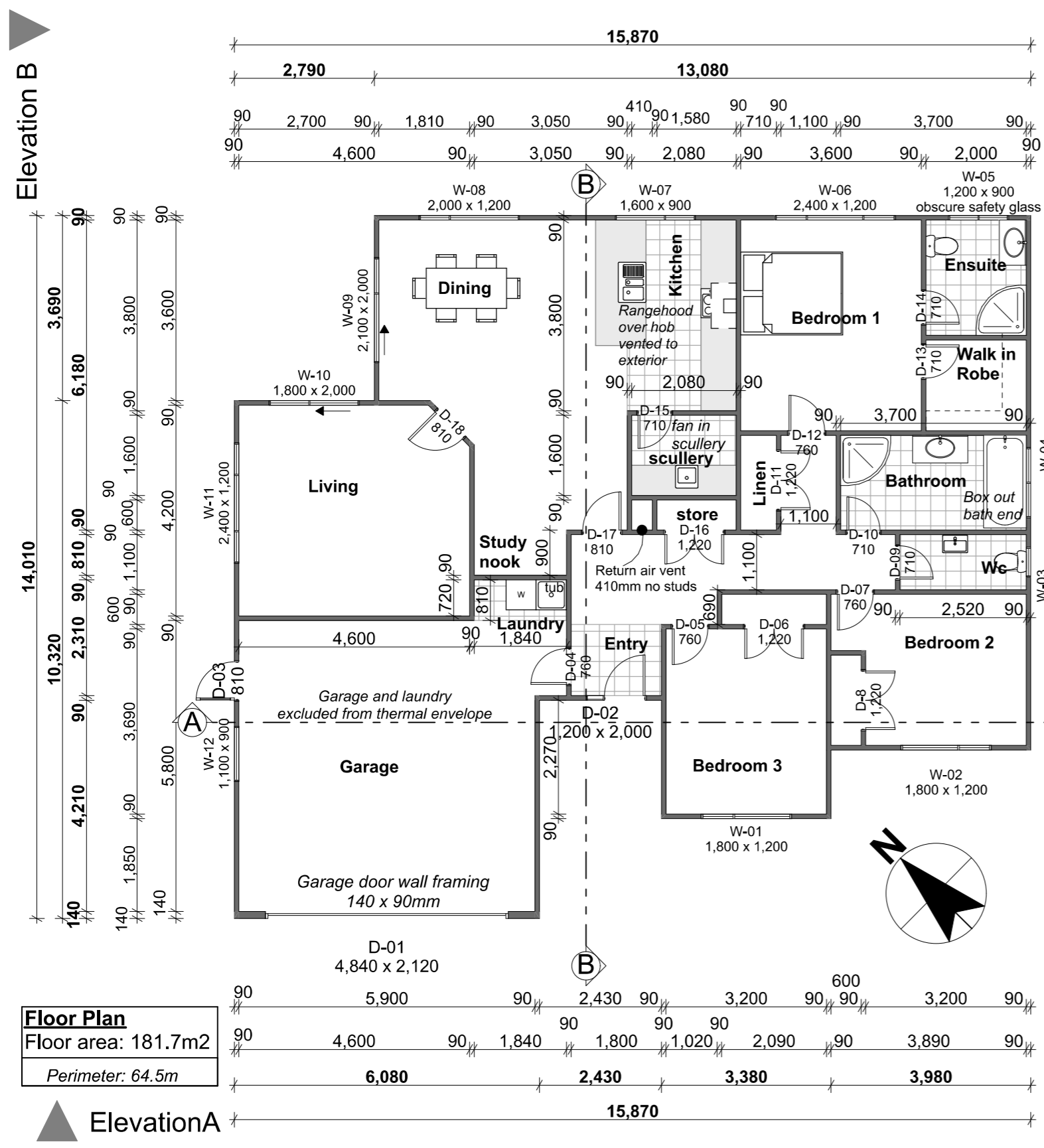




Proposed Property: **New plan**
Lot 201 Havana Rise
Grenada, Hunters Hill
Wellington 6037

Project #: 522 Designer: Vicky Russell
 LBP BP115030 (D1)
 Extra High Wind Zone
 Earthquake Zone 3
 Ground: D&E



Floor Plan
 Floor area: 181.7m²
 Perimeter: 64.5m

Elevation C

Adjust lintel heights to suit
HIANDRI packers
 (drop frames for 12mm packers)

Building Information:

Note: HIANDRI PACKERS under framing.

Exterior Wall Cladding:
 200x25 Bevelback weatherboards (H3.1, Pre-Primed)

Exterior corners: mitred corners

Building Wrap:
 Tekton Building wrap

Rigid air barrier:
 7mm DD Eco-Ply, H3.1

Roof Cladding:
 Colorsteel corrugated roofing

Roof Pitch: 10 degrees

Spouting: Colorsteel continuous spouting system

Fascia: 200x25mm, H3.1, pre-primed FJ timber

Downpipe size: 80mm dia.

Slab/Foundation:
 Expol Tuff Pod - Engineered

Exterior joinery: Aluminium windows and doors - powder coated, double glazed windows (except in garage)

Garage and Laundry excluded from thermal envelope.

Elevation D

Kitchen to be measured on site by joiner prior to production.

Insulation: Ceiling: R3.2 Batts, Wall: R2.2 Batts wall insulation to exterior walls and interior garage and laundry walls.

Wall framing:
 All framing timber SG8, kiln dried, H1.2 treated

-Garage door wall framing 140 x 45mm
 -Other wall framing 90 x 45mm

Studs: Interior walls @ 600mm crs.
 Exterior walls @ 400mm crs.

Ceiling lining:
 10mm Gib fixed @ 400 crs. to timber batten (untreated, kiln dried, 70 x 40mm laid flat at 450mm centres max.)

Wall lining:
 10mm Standard Gib Plasterboard lining unless otherwise stated in Bracing Plan. Gib Aqualine in bathrooms and laundry.

Ventilation:
 The mechanical ventilation for the bathroom, ensuite, toilet and scullery shall provide a minimum air change of 25 litres per second and should be wired to a switch.

Ventilation for kitchen rangehood to be minimum 50 litres/second.

The external grille outlets and flashing shall be installed to meet the requirements of the NZBC clauses B2 Durability and E2 External Moisture

Amendments:
 6/7/2020: RF1
 L01 - Driveway width less than 6m
 L02, L11 - Fan in scullery

L 02	Issue Date: 7/07/2020
Ground Floor Plan	
scale: 1:100	

SMOKE DETECTORS:
 Smoke alarms to be installed within 3m from all bedroom doors and must be audible within the rooms with the doors shut. Smoke alarms must have both a hush facility to silence the alarm with min. of 60 seconds and a test facility. Smoke alarms may be battery powered.

F2/AS1 requires that, where glazing may be subject to human impact, it must comply with NZS4223.3:2016 (see Window Schedule)

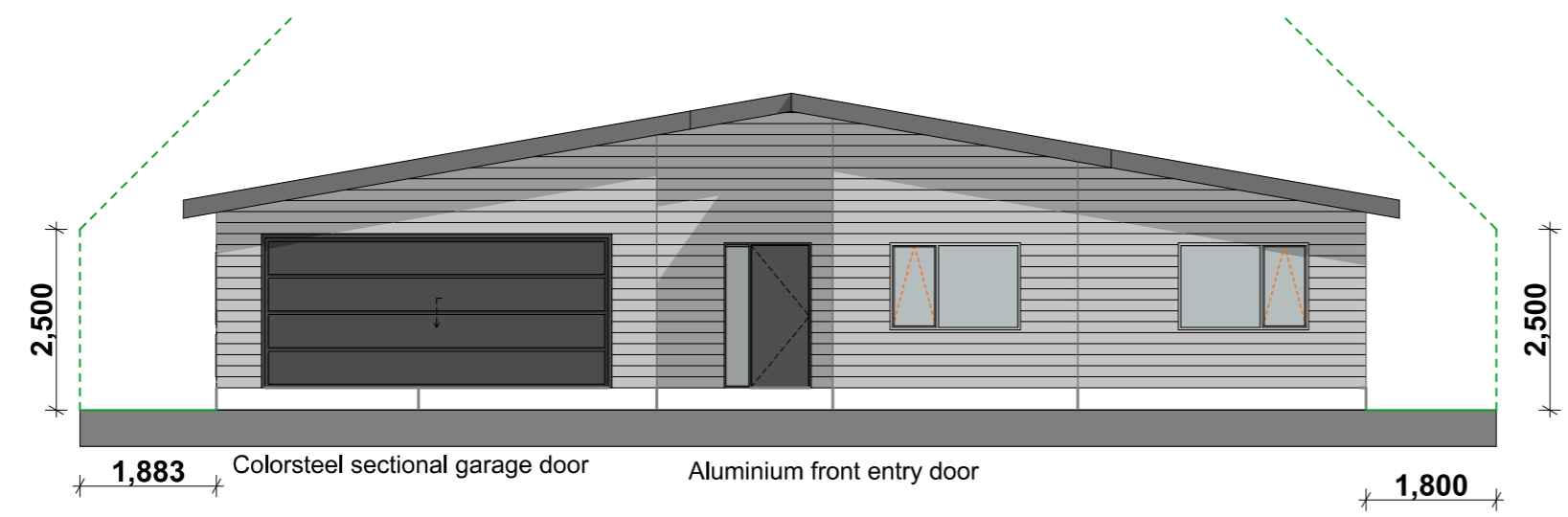
Shower doors:
 Showers: Englefield Valencia which have fully framed, 6mm toughened safety glass shower doors



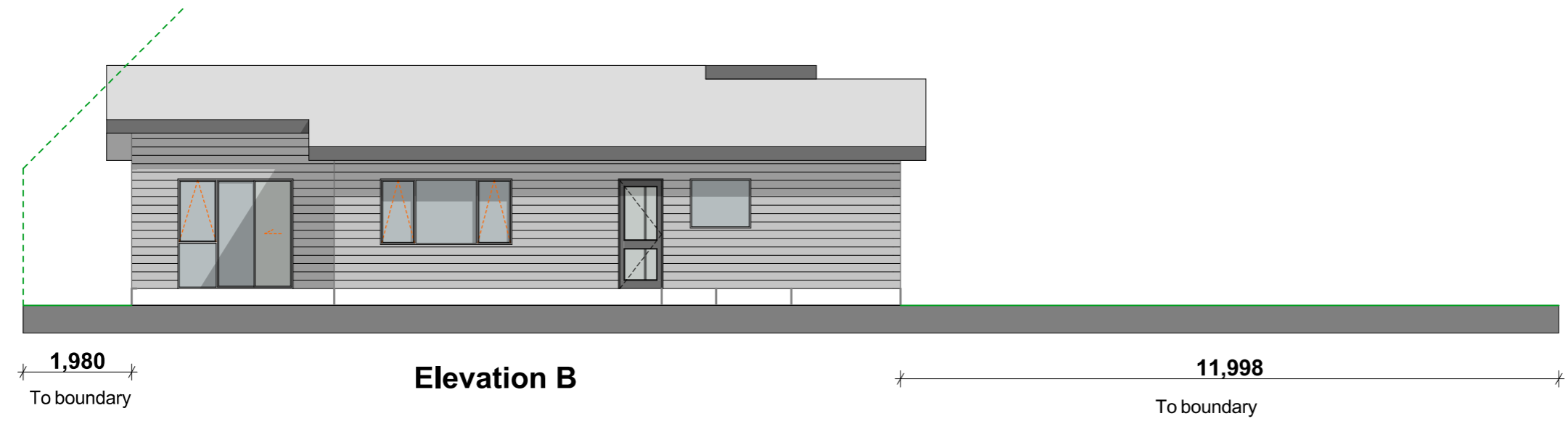
Proposed Property: ***New plan***
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Ground: D&E



Elevation A



Elevation B

Amendments:
 6/7/2020: RF1
 L01 - Driveway width
 less than 6m
 L02,L11 - Fan in
 scullery

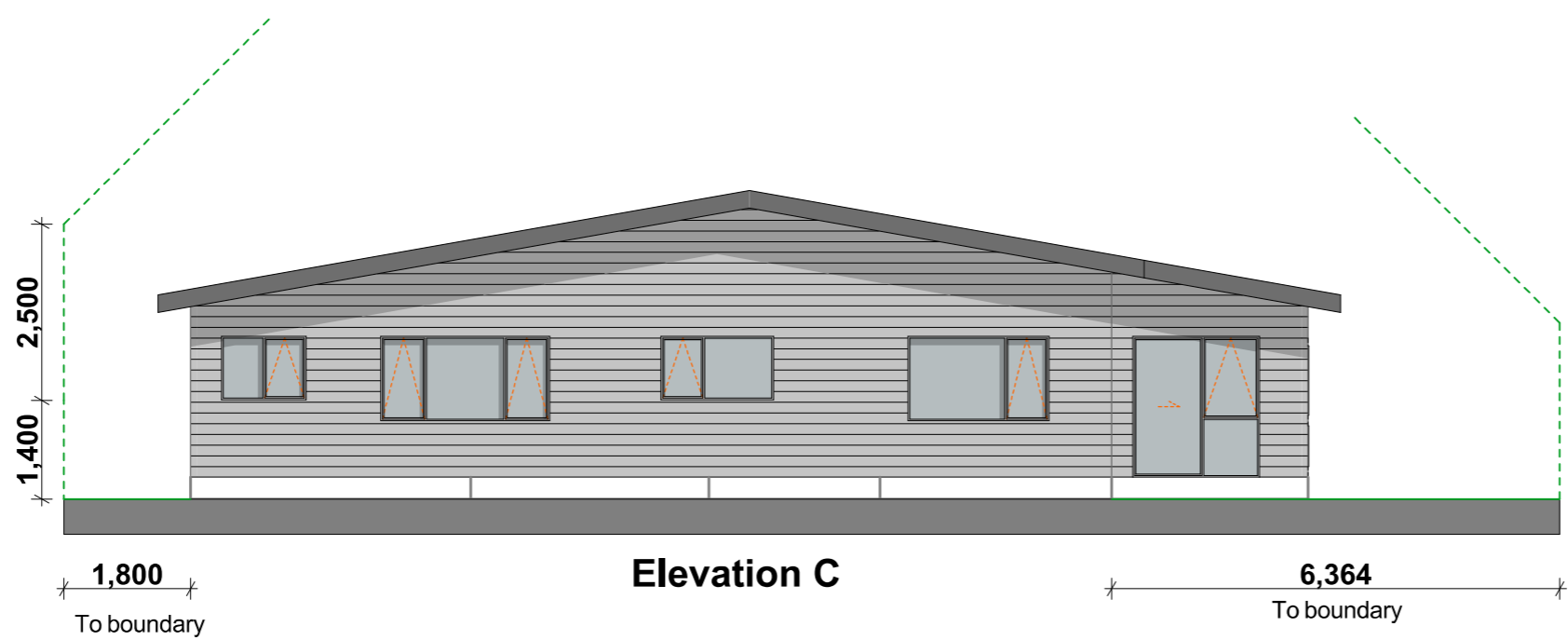
L 05	Issue Date: 7/07/2020
Elevation A & B	
scale: 1:100	



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 LBP BP115030 (D1)

Extra High Wind Zone
Earthquake Zone 3
Ground: D&E



Amendments:
 6/7/2020: RF1
 L01 - Driveway width less than 6m
 L02,L11 - Fan in scullery

L 06	Issue Date: 7/07/2020
Elevation C & D	
scale: 1:100	

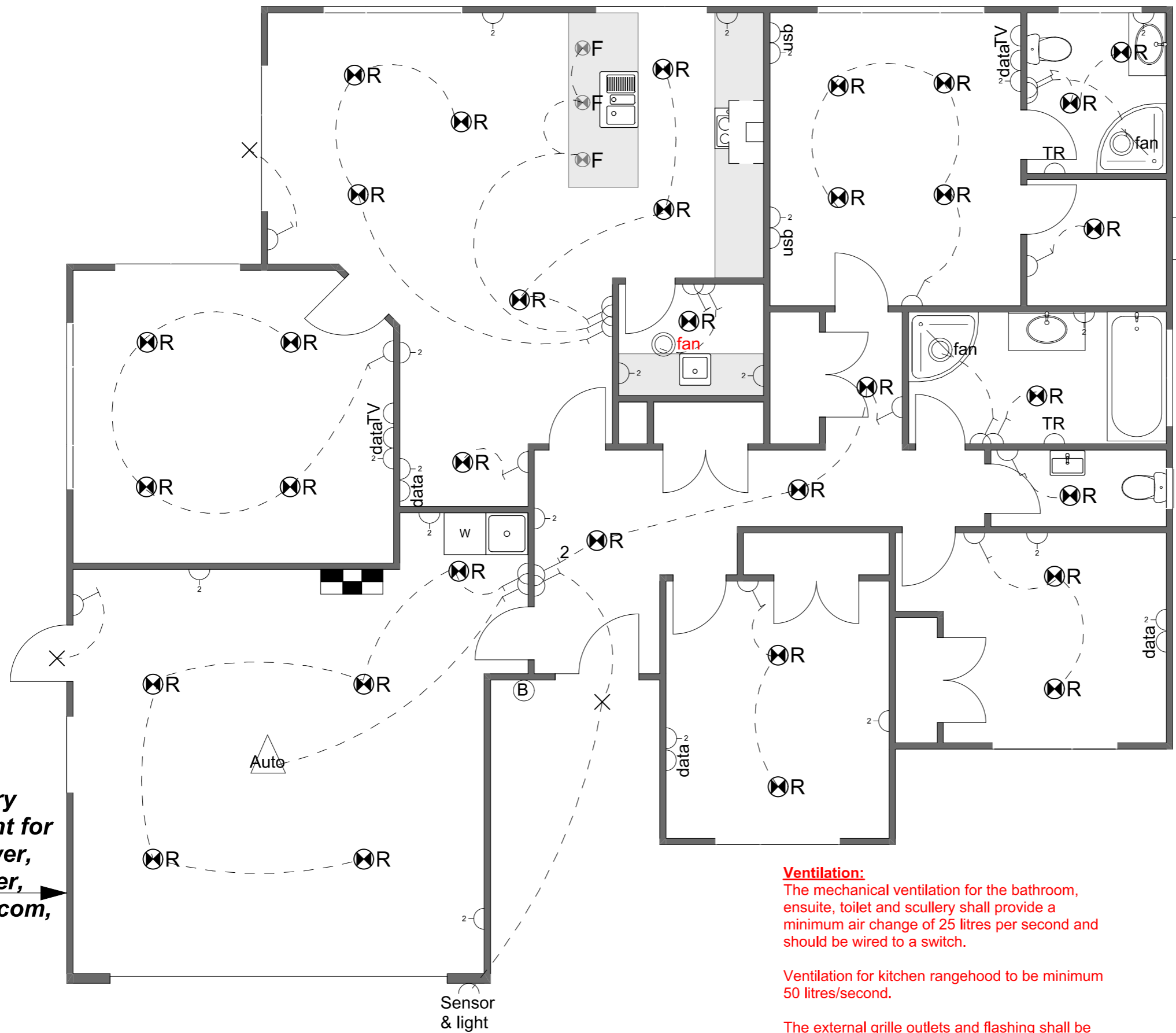
Note: Recessed lights are compliant with NZBC CAS1 Section 7.4.1 as specified in AS/NZS 60598.2.2

RUSSELL PROPERTIES

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Gas infinity hotwater system

Entry point for power, water, telecom, →

Sensor & light

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The external grille outlets and flashing shall be installed to meet the requirements of the NZBC clauses B2 Durability and E2 External Moisture

- KITCHEN ELECTRICAL**
- 1 x hob point
 - 1 x Rangehood point
 - 1 x Microwave point
 - 1 x Fridge point
 - 1 x Waste disposal point
 - 1 x Dishwasher point
 - power points as per plan

- SCULLERY**
- 2 x double power points

ELECTRICAL LEGEND

- ⊗R Recessed LED Downlight
- ⊗F Kitchen Feature Lights (standard range)
- X Exterior LED Light
- ↗ One way switch
- ↔ Two way switch
- ⌋ double power point
- Ph Phone point
- usb USB point
- TV TV point
- fan Extractor Fan
- TR Towel Rail
- Auto Auto garage door opener
- B Door Bell
- SD Smoke Detector
- Switch Board
- Sensor & light Sensor & Light

Amendments:
 6/7/2020: RF1
 L01 - Driveway width less than 6m
 L02, L11 - Fan in scullery

L 11 Issue Date: 7/07/2020

Electrical Plan

scale: Not to scale